



Report of the Chief Planning Officer

CITY PLANS PANEL

Demolition of existing building and erection of student residential accommodation development with flexible commercial space (use classes A1, A2, A3, A4, A5 or D2), site of Leeds College of Technology, Woodhouse Lane, Cookridge Street, and Vernon Street, Leeds LS2 8BL (19/02841/FU)

Applicant – Metropolitan and District Securities Ltd.

Electoral Wards Affected:

Little London and Woodhouse

Yes Ward Members consulted

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: DEFER and DELEGATE to the Chief Planning Officer for approval subject to the specified conditions set out in Appendix 1 (and any others which he might consider appropriate) and also the completion of a Section 106 agreement to include the following obligations:

- **Accommodation for use solely by students in full-time higher education;**
- **Travel plan review fee of £3,252;**
- **Implementation of approved travel plan;**
- **Removal of College of Technology parking from Vernon Street;**
- **Contribution of £150,000 towards Vernon Street environmental improvements;**
- **Contribution of £18,095 per space lost towards the loss of pay and display income;**
- **Contribution of £7,500 for traffic regulation orders, including to provide a loading bay on Cookridge Street;**
- **Local employment and training initiatives;**
- **Section 106 management fee of £2250.**

In the circumstances where the Section 106 has not been completed within 3 months of the resolution to grant planning permission, the final determination of the application shall be delegated to the Chief Planning Officer.

1.0 Introduction

- 1.1 With the recent opening of the new Leeds City College Quarry Hill campus the College of Technology building on Woodhouse Lane has become surplus to requirements. This application seeks planning permission for the demolition of the existing building and the construction of new purpose-built student accommodation, with ground floor commercial space and new public realm around the new multi-storey building.
- 1.2 Pre-application proposals were presented to City Plans Panel on 14th February 2019. Members considered the proposed development of the site for student accommodation was acceptable in principle, subject to the comments made and noted at Panel. A copy of the minutes of that meeting are reproduced at Appendix 1.

2.0 Site and surroundings

- 2.1 The broadly triangular college site covers approximately 0.18 hectares and is located immediately south of the junction of Woodhouse Lane and Cookridge Street. Vernon Street, an unadopted cobbled road used for parking by several adjoining premises, runs along the southern boundary of the site. Despite the fall in ground levels down from east to west the ground floor is elevated above surrounding levels leading to steps and a ramp up to entrance level on Woodhouse Lane and also a flight of steps on Cookridge Street. An eleven storey tower fronting Woodhouse Lane on the eastern half of the site sits above a part single, part two storey plinth. A two storey element is located on top of the western half of the plinth towards the junction of Cookridge Street and Vernon Street. The predominant facing material is Portland Stone with areas of brickwork primarily located around the plinth.
- 2.3 The site has a sensitive heritage setting, directly abutting the northern edge of the City Centre Conservation Area whilst the Queen Square Conservation Area is situated across Woodhouse Lane to the north east. There are a number of listed buildings close to the site including Leeds City Museum (Grade II*) and Art College (Grade II) to the south; and the O2 Academy (Grade II), Brodrick's Buildings (Grade II) and the Civic Hall (Grade II*) nearby to the west.
- 2.4 The site is situated in the designated city centre close to a wide mix of amenities. A part six, part eight, storey student accommodation building has recently been completed at 67-83 Cookridge Street on the site of the former Walkabout bar to the west. That building abuts the former proposed Hilton hotel site now being constructed as a part six, part sixteen, storey student accommodation building at the junction of Cookridge Street / Woodhouse Lane / Portland Way. Space outside the student building fronting Woodhouse Lane will be laid out as new areas of footway with soft landscaping designed to complement the new area of public realm located outside the former Coburg public house on the northern side of the junction. The Merrion Centre and Merrion House is situated on the east side of Woodhouse Lane which, at this location, comprises a 5 lane wide highway.

3.0 Proposals

- 3.1 It is proposed to demolish the existing building and to construct a multi-level building in its place. A 20 storey (57 metre) high tower would front Woodhouse Lane, with part 6, 7, 8 and 9 storey linked elements located to the west. The tower element would sit back behind a two storey plinth on the north, east and southern elevations. New courtyards fronting Cookridge Street and Vernon Street would be interspersed with the staggered footprint of the linked elements to the rear. Level entrance points

would be provided into the building from Woodhouse Lane, Cookridge Street and the junction of Cookridge Street and Vernon Street. The principal entrance to the student accommodation would be from Cookridge Street with a second access point from Woodhouse Lane.

- 3.2 The building would contain 465 bedspaces (385 bedrooms in 4, 5, 6, 7 and 8 bedroom clusters and 80 studios). Cluster bedrooms would range in size from 13.25m² to 18m² with supporting cluster amenity spaces ranging from 23m² for the four-bedroom clusters to 40m² in the largest clusters. The studios would range in size from 21-27m², with an average size of 23.5m². A total of 442m² of dedicated amenity space (in addition to the cluster kitchen amenity spaces) would be provided for the students at lower and upper ground levels of the building. Areas for secure cycle storage, bin storage and plant would also be provided at these levels.
- 3.3 Two commercial units would front Woodhouse Lane, a third would face Cookridge Street and a fourth unit would be located at the west end of the development, at the junction of Cookridge Street and Vernon Street facing towards Millennium Square. The space, comprising 1,375m² of floorspace could be used in use classes A1, A2, A3, A4, A5 or D2 with a maximum of 200m² of A1 retail floorspace. A loading bay would be formed on Cookridge Street to enable servicing of the building. All 32 parking spaces relating to the previous use of the College of Technology building would be removed from Vernon Street although the developer does not have control over the remaining 16 car parking spaces on Vernon Street which are currently used for parking by neighbouring premises.
- 3.4 It is intended to utilise reconstituted cast stone cladding as the primary external building material alongside glazed curtain walling. Footways around the periphery of the site would be repaved. Street trees (such as double flowering wild cherry and Turkish hazel) would be planted along Woodhouse Lane and Cookridge Street. The developer also intends to provide a contribution towards physical improvements to Vernon Street which are presently being designed by the Council.

4.0 Relevant planning history

- 4.1 The college was constructed as the Branch College of Engineering and Science in two phases in the late 1950/60's. It was renamed Kitson College in 1967 in honour of James Kitson, Baron Airedale. In 2009 the college merged with Thomas Danby College and Park Lane College to form Leeds City College. The college is the third largest further education college in the UK. Leeds City College recently opened its new Quarry Hill campus leaving the Woodhouse Lane College of Technology campus surplus to requirements.
- 4.2 Pre-application proposals for redevelopment of the site were presented to City Plans Panel on 14th February 2019. Members considered the proposed development of the site for student accommodation was acceptable in principle; that the proposed mass and form of the development and its relationship with the surrounding context was acceptable; that the emerging approach to public realm was acceptable; and that natural stone or reconstituted stone should be used as the primary external building material. The majority of Members considered the living conditions within the student accommodation to be acceptable. A full copy of the minutes of that meeting are reproduced at Appendix 1.

5.0 Consultation responses

Statutory

- 5.1 Historic England – do not wish to offer any comments.
- 5.2 LCC Highways – the site is located within the city centre and in proximity to universities and as such no vehicle parking is required for the development. There is no objection subject to further information regarding servicing of the development and management of student vehicles at the start and end of academic years. A contribution will be required to improve Vernon Street after the College of Technology's existing parking has been removed; towards improvements for cyclists on Cookridge Street; a loading bay and amendments to TROs as required

Non-statutory

- 5.3 LCC Flood Risk Management – the Flood Risk Assessment and Outline Drainage Strategy is considered acceptable. There are no objections subject to conditions in respect of the detailed drainage scheme.
- 5.4 West Yorkshire Police (WYP) – the security measures identified in the design and access statement are very good. Additional access control measures should be applied to increase security into the building, including gates to the courtyards off Vernon Street. Bollards should be considered along the east, south and west elevations of the building to protect these areas from accidental or deliberate collision or impact damage. Laminated glazing is recommended on ground floor windows. Planting should be managed and there should be good lighting levels and CCTV provided. WYP also provided detailed recommendations in respect of the quality of the CCTV system; cycle storage; concierge and security; access control; mail delivery; doors and windows; and alarms for commercial units.
- 5.5 LCC Transport Strategy (transport noise) - the methodology, findings and recommendations contained within the acoustics report on environmental noise are broadly agreed. All noise insulated rooms should have an alternative means of acoustically treated ventilation, such that windows do not need to be opened for ventilation purposes.
- 5.6 LCC Travelwise – the revised travel plan meets the Council's criteria. In accordance with the SPD on Travel Plans, a Travel Plan Review fee of £3,252 should be included in the Section 106 Agreement.
- 5.7 LCC Contaminated Land Team – conditions are recommended regarding the need for a Phase 2 site investigation and remediation works to be undertaken in the event of remediation being required.
- 5.8 LCC Conservation - The massing of the proposed building creates three distinct linear elements that respond to the surrounding building scales, including the listed Art College and City Museum. The shifting scale and subtle modelling of the elevations will be an improvement on the existing slab-like College of Technology building and will thus benefit the settings of the adjoining listed buildings.

The existing building benefits from being clad in Portland stone. The Design and Access Statement says that it is important that the building is related both in detailing and materials with its context. Care needs to be taken in the choice of materials to at least match the quality of the existing.

- 5.9 LCC Nature Conservation – The main bird species present around Millennium Square are House Sparrows. Therefore a condition should be attached to ensure

provision of integral bird nesting facilities within the structure of the building to provide a net gain in biodiversity.

- 5.10 LCC Access – the approach to inclusive design is welcomed. Further guidance is available regarding the needs of visually impaired and neurodiverse people who may reside in or visit the building.
- 5.11 LCC Environment and Housing – conditions recommended in respect of demolition and construction; limiting of plant and machinery noise; controlling visible light sources; and sound insulation between commercial and domestic premises.
- 5.12 Yorkshire Water (YW) – a water supply can be provided. YW have no comment to make on the proposals.
- 5.13 Coal Authority- standing advice should be included as an informative.

6.0 Public response

- 6.1 Site notices advertising the application were displayed around the site on 16th May 2019 and the application was advertised in the Yorkshire Evening Post on 17th May 2019.
- 6.2 The Leeds Civic Trust fully supports the proposal, commenting that it is thorough and well thought through, and comments previously made by the LCC and by the Trust were taken on board and satisfactorily incorporated. The Trust state that the facades are elegant, the safety screens are decorative and playful, and the development will provide a substantial improvement to the streetscape on all three sides of the site. The internal layout is reasonably flexible in a way that could be relevant for use by groups of single dwellers beyond student accommodation. The Trust are also satisfied that good measures have been put in place for delivering a more environmentally friendly building.

7.0 Policy

7.1 Development Plan

- 7.1.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the application to be determined in accordance with the development plan unless material considerations indicate otherwise. For the purposes of decision making for this application, the Development Plan for Leeds currently comprises the following documents:
 - The Leeds Core Strategy (Adopted November 2014)
 - Saved UDP Policies (2006), included as Appendix 1 of the Core Strategy
 - The Natural Resources & Waste Local Plan (NRWLP, Adopted January 2013) including revised policies Minerals 13 and 14 (Adopted September 2015).
 - Site Allocations Plan (Adopted July 2019)

7.2 Core Strategy (CS)

- 7.2.1 The Core Strategy sets out the strategic level policies and vision to guide the delivery of development and the overall future of the district. Relevant Core Strategy policies include:

- Spatial Policy 1 prioritises the redevelopment of previously developed land in a way that respects and enhances the local character and identity of places and neighbourhoods.
- Spatial Policy 3 seeks to maintain and enhance the role of the City Centre as an economic driver for the District and City Region, by comprehensively planning the redevelopment and re-use of vacant and under-used sites for mixed use development and areas of public space; enhancing streets and creating a network of open and green spaces to make the City Centre more attractive; and improving connections between the City Centre and adjoining neighbourhoods.
- Spatial Policy 6 identifies the housing requirement and allocation of housing land.
- Spatial Policy 7 sets out the spatial distribution of the district wide housing requirement between Housing Market Characteristic Areas. The site is in the City Centre with a requirement to provide 10,200 units (2012-28).
- Spatial Policy 11 includes a priority related to improved facilities for pedestrians to promote safety and accessibility and provision for people with impaired mobility.
- Policy CC1 outlines the planned growth within the City Centre. Part B encourages residential development, providing that it does not prejudice town centre functions and provides a reasonable level of amenity for occupiers.
- Policy CC3 states new development will need to improve connections within the City Centre.
- Policy H1 identifies the managed release of sites allocated for housing.
- Policy H3 states that housing development should meet or exceed 65 dwellings per hectare in the City Centre.
- Policy H6B refers to proposals for purpose built student accommodation. Development will be controlled to take the pressure off the need to use private housing; to avoid the loss of existing housing suitable for families; to avoid excessive concentrations of student accommodation; to avoid locations that would lead to detrimental impacts on residential amenity; and to provide satisfactory living accommodation for the students.
- Policy P10 requires new development to be based on a thorough contextual analysis to provide good design appropriate to its scale and function, delivering high quality innovative design and that development protects and enhance the district's historic assets in particular, historically and locally important buildings, skylines and views.
- Policy P11 states that the historic environment and its settings will be conserved, particularly those elements which help to give Leeds its distinct identity.
- Policies T1 and T2 identify transport management and accessibility requirements to ensure new development is adequately served by highways and public transport, and with safe and secure access for pedestrians, cyclists and people with impaired mobility.
- Policy G9 states that development will need to demonstrate biodiversity improvements.
- Policies EN1 and EN2 set targets for CO² reduction and sustainable design and construction, and at least 10% low or zero carbon energy production on-site. Where technically possible major developments should propose district heating connections or provision (EN4).
- Policy EN5 identifies requirements to manage flood risk.
- Policy ID2 refers to the requirement for section 106 agreements.

7.3 Saved Unitary Development Plan Review policies (UDPR)

7.3.1 Relevant Saved Policies include:

- Policy GP5 states that all relevant planning considerations are to be resolved.

- Policy BD2 requires that new buildings complement and enhance existing skylines, vistas and landmarks.
- BD4 states that all mechanical plant and associated pipework should normally be contained within the envelope of the building.
- Policy BD5 requires new buildings to consider both their own amenity and that of their surroundings including usable space, privacy and satisfactory daylight and sunlight.

7.4 Natural Resources and Waste Local Plan 2013 (NRWLP)

7.4.1 The Natural Resources and Waste Local Plan sets out where land is needed to enable the City to manage resources, like minerals, waste and water and identifies specific actions which will help use the natural resources in a more efficient way. Relevant policies include:

WATER 1 requires development to include measures to improve their overall water efficiency. WATER 4 requires the consideration of flood risk issues and WATER 6 requires flood risk assessments. WATER 7 requires development not to increase surface water run-off. LAND 1 requires consideration of land contamination issues. LAND 2 seeks new tree planting as part of an enhanced public realm. AIR1 states that all applications for major development will be required to incorporate low emission measures to ensure that the overall impact of proposals on air quality is mitigated.

7.5 Site Allocations Plan 2019 (SAP)

7.5.1 The site is not specifically identified in the SAP.

7.6 National Planning Policy Framework (NPPF)

7.6.1 Paragraph 108 states that appropriate opportunities to promote sustainable transport modes should be taken up; safe and suitable access provided for all users; and any significant impacts on the highway mitigated. Paragraph 110 states that priority should be given to pedestrian and cycle movements; the needs of people with disabilities and reduced mobility addressed; creation of safe, secure and attractive spaces; allow for the efficient delivery of goods; and be designed to enable use by sustainable vehicles.

7.6.2 Chapter 11 promotes the effective use of land, taking account of the need for different forms of development and the availability of land suitable for accommodating it; local market conditions; the capacity of infrastructure and services; the desirability of maintaining an area's character or of promoting regeneration and change; and the importance of securing well-designed places (paragraph 122).

7.6.3 Chapter 12 identifies the importance of well-designed places and the need for a consistent and high quality standard of design. Paragraph 127 states that decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

7.6.4 Chapter 14 identifies the approach to meeting the climate change challenge. New development should avoid increased vulnerability to the range of impacts arising from climate change and should be planned so as to help reduce greenhouse gas emissions, such as through its location, orientation and design (paragraph 150).

7.6.5 Paragraph 170 states that new and existing development should not be put at unacceptable risk or be adversely affected by unacceptable levels of soil, air, water or noise pollution.

7.6.6 Chapter 16 refers to the historic environment. Paragraph 192 states that local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character and distinctiveness.

7.6.7 Paragraph 193 states that “When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be).” Paragraph 196 states that “Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

7.7 **Supplementary guidance**

- Tall Buildings Design Guide SPD
- Travel Plans SPD
- Street Design Guide SPD
- Building for Tomorrow Today: Sustainable Design and Construction SPD
- Parking SPD
- Neighbourhoods for Living SPG
- Accessible Leeds SPD
- City Centre Urban Design Strategy SPG

Other material considerations

7.8 Core Strategy Selective Review (CSSR)

- 7.8.1 A selective review of the Leeds Core Strategy has been undertaken. The CSSR is now at an extremely advanced stage with hearing sessions concluded in February, the Inspector's Main Modifications (MMs) being issued on 10th April 2019, and the Inspector's final Report being issued on 28th August 2019. This means that the CSSR can be afforded significant weight, with policies that were not subject to a MM able to be afforded more weight as it is implicit that the Inspector considers the policy sound without modification. The Council's Executive Board has now recommended the Inspector's Report to Council for adoption, which is expected on 11th September 2019 and from which point all CSSR policies will have full weight.
- 7.8.2 The CSSR includes a review of the housing requirement 2017-2033; the distribution of housing; climate change reduction policies; the adoption of the Nationally Described Space Standards (Policy H9); and provision of accessible housing standards (Policy H10).
- 7.8.3 Although draft policy H9 in the CSSR expressly excludes purpose built student accommodation from the space standard a footnote to the policy states such development should reflect the NDSS with appropriate adjustments to address the particular characteristics of these types of development. They should also meet reasonable standards of general amenity for occupiers to include adequate space, light and ventilation. Further guidance will be provided through a Supplementary Planning Document.
- 7.8.4 Paragraph 5.2.46 of the supporting text states that "Provision of reasonable space standards is still important for student accommodation, and this will need to be judged on a case by case basis, and via the application of any national standards that might be created in the future".

8.0 Main issues

- Principle of the development
- Amenity considerations
- Townscape and heritage considerations
- Transport and servicing issues
- Public realm
- Sustainability and climate change
- Access
- Wind
- Section 106 obligations and CIL

9.0 Appraisal

9.1 Principle of the development

- 9.1.1 The site is located within the designated City Centre. CS Policy CC1(b) encourages residential development in city centre locations providing that the development does not prejudice the functions of the City Centre and that it provides a reasonable level of amenity for occupiers.
- 9.1.2 Policy H6B relates specifically to the provision of student housing. It has been established that there are approximately 38,000 university students in the city presently without access to purpose-built student accommodation suggesting that

additional provision is unlikely to result in an over-supply of purpose-built student accommodation in the near future. CS paragraph 5.2.26 states that growth in new purpose built student accommodation is to be welcomed in order to meet need and to deflect pressure away from private rented houses in areas of over-concentration. At pre-application stage City Plans Panel considered the proposed development of the site for student accommodation was acceptable in principle.

9.1.3 The applicant has entered into discussions with the University of Leeds and is working collaboratively with the University to ensure that the proposed development meets their specific requirements.

9.1.4 In support of the proposals, the applicant provided a statement from Cushman & Wakefield which highlights that less than a quarter of existing student bedspaces are located either on campus or within a five-minute walk of the University of Leeds. In comparison, the proposed development is much better placed, being in close proximity to the University. The statement reports that full-time student numbers at the university grew by 8% between 2011-2016, whilst the University is increasingly reliant upon private sector accommodation. The report states that, in September 2018, planning permission was in place for 4,015 purpose-built student bedspaces. It comments that, in the context of the overall market, existing and future provision and also the numbers of students living in houses in multiple occupation, the level of development is sustainable.

9.1.5 The proposal is considered against the criteria set out below within the adopted policy H6B (identified in italics):

(i) To help extend the supply of student accommodation taking pressure off the need for private housing to be used.

The provision of approximately 465 student bedspaces would help to reduce the need to use private housing for student accommodation and in doing so deflect pressure away from private rented houses in areas of over-concentration.

(ii) To avoid the loss of existing housing suitable for family accommodation.

The existing building on the site was used as a further education establishment until summer 2019. As such, the development would not involve the loss of residential family accommodation. Correspondingly, as noted above, the development would deflect pressure away from housing suitable for family accommodation which has either already, or could in future, be otherwise converted for private student rental.

(iv) To avoid locations which are not easily accessible to the universities.

The site is within the City Centre and is located directly adjacent to Leeds Arts University; within 100m of Leeds Beckett University Rose Bowl, and very well-placed with regard to access to the University of Leeds along Woodhouse Lane.

Criteria (iii) and (v) of policy H6B are considered in the amenity section, at paragraph 9.2 below.

9.1.6 Areas within the lower ground floor and ground floor not required as part of the student accommodation are proposed as commercial space. These areas, facing Woodhouse Lane, Cookridge Street and Millennium Square could be bars, restaurants, leisure facilities or a small convenience store. They would help to add vitality and animation to the streetscene and would accord with CS policy CC1.

9.2 Amenity considerations

- 9.2.1 Criteria (iii) of CS policy H6B aims *to avoid excessive concentrations of student accommodation which would undermine the balance and wellbeing of communities.*
- 9.2.2 The area currently comprises a mix of civic and educational uses, together with leisure and retail uses, and a small amount of residential accommodation. Largely due to its close proximity, both to the universities and also the City Centre the area is a focus for new purpose-built student accommodation. New student accommodation (96 bedspaces) has recently opened at the former Walkabout premises at 67-83 Cookridge Street. Work is ongoing across Cookridge Street to provide 312 student bedspaces for Vita at the junction of Cookridge Street and Portland Crescent. On Merrion Way, 976 student bedspaces are being constructed for Unite adjacent to the arena and a 37 storey, 752 student bedspace development for Olympian Homes at the site of the former Hume House is now well underway. Across Wade Lane, Vita have just opened the St Alban's Place student development (376 bedspaces) and the Symons House development (349 bedspaces) is nearing completion. Planning permission is also in place for 98 student bedspaces at Q One Residence on Wade Lane. There is a significant amount of student accommodation adjacent to the Leeds Beckett University campus approximately 250m to the west and some a similar distance to the north off Clay Pit Lane. The proposed student accommodation would provide 465 bedspaces.
- 9.2.3 There are small pockets of private residential accommodation in the Brodrick Building adjacent to Millennium Square, and also across Woodhouse Lane in Queen Square. However, it is not considered that existing local residents would be adversely affected by student accommodation in the proposed location given the previous use of the building, the area's current mixed use and also the manner in which purpose-built student accommodation is managed. It is not considered that the number of students proposed would result in an excessive concentration of students that would undermine the wellbeing of the area within the context of a busy mixed use, city centre environment. It is more likely that the students would help to support existing businesses within the City Centre. Further, the development's juxtaposition to both the main university campuses and adjacent to Leeds Arts University is such that more established, though relatively small-scale, residential communities would not be adversely affected by the development.
- 9.2.4 Criteria (v) of CS Policy H6B requires that *the proposed accommodation provides satisfactory internal living accommodation in terms of daylight, outlook and juxtaposition of living rooms and bedrooms.*
- 9.2.5 Although draft Policy H9 in the CSSR expressly excludes purpose built student accommodation from the space standard a footnote to the policy states such development should reflect the NDSS with appropriate adjustments to address the particular characteristics of these types of development. They should also meet reasonable standards of general amenity for occupiers to include adequate space, light and ventilation. Paragraph 5.2.46 of the supporting text to policy H9 states that "Provision of reasonable space standards is still important for student accommodation, and this will need to be judged on a case by case basis, and via the application of any national standards that might be created in the future".
- 9.2.6 In addition, CS Policy P10 and Saved UDPR Polices BD5 and GP5 provide more general requirements that development should contribute positively towards quality of life and provide a reasonable level of amenity and useable space. The

assessment of amenity also involves a wider consideration of qualitative factors including arrangement and separation of living functions (general living, sleeping, studying, eating, cooking, food preparation, storage and circulation), usable shape, outlook, privacy and external amenity space.

- 9.2.7 Officers and Members have visited several student housing schemes to review the level of amenity provided for students. These include Fresh Student Living at Darley Bank in Derby (April 2014) where the studio was 22m²; Downing's Cityside, Calverley Street, Leeds (May 2016) where the student showflat was also 22m²; Vita Student's Telephone House, Sheffield (September 2016) where the average studio size was 20m²; and in March 2018 Unite's development at Angel Lane, Stratford where Members viewed a 10 bedroom cluster flat where the cluster bedrooms of 11m² were supported by 23m² kitchen/living spaces, together with other internal and external amenity space located around the building.
- 9.2.8 City Plans Panel has previously approved the following student accommodation developments:
- Planning permission for Vita's scheme at St Alban's Place, in which the smallest studios would be just over 20m² (78% of the total provision), was granted April 2017 (16/07741/FU). In approving the scheme it was recognised that the size of the majority of the studios would be restricted, providing little or no opportunity for socialising. However, each studio was found to benefit from a good outlook, natural daylighting and a suitable noise environment. In order to provide acceptable levels of amenity and communal living the studios are supplemented by managed areas of dedicated communal facilities at the two lowest levels of the building.
 - In December 2017, City Plans Panel approved the redevelopment of Symons House, Belgrave Street by LSSH where the proposed smallest studio would be 21.3m². 2 to 5 bedroom clusters in that development would have 14m² bedrooms with kitchen/living spaces increasing in size from 21-43m², all supported by areas of dedicated amenity space.
 - During summer 2018 City Plans Panel approved the Unite and Hume House proposals on Merrion Way. The Unite scheme comprises 4, 5 and 7 bedroom clusters with 23-40m² kitchen/amenity space, and 30m² studios. Hume House comprises a similar mixture of studios (22m²) and 4, 5 and 6 bedroom clusters with 21-35m² kitchen/amenity space, the area depending upon the size of the cluster.

In each of these purpose-built student schemes the dedicated additional amenity spaces within the building were considered critical in providing acceptable levels of amenity for the occupiers of the development.

- 9.2.9 The format of the proposed scheme is similar to the schemes referred to above. Excluding cycle storage, refuse areas and cluster living/kitchen rooms a total of 442m² of dedicated amenity space for use by students would be provided over the lower ground and upper ground floors. The space, provided to help address student wellbeing through additional opportunities for connectivity could be used for study, games or general relaxation and socialising. This area would be supplemented by an area of external roof garden situated at the top of the tower.
- 9.2.10 Modes of student accommodation would be mixed on each floor, normally with studios located closer to the cores in the tower and cluster living/kitchen spaces

situated on the corners of the building providing opportunities for enhanced daylight and outlook from dual aspect spaces.

- 9.2.11 Typically, cluster bedrooms would be 13m² (5.0m x 2.6m) with bathroom pods situated close to the entrance threshold, a centrally-located study area with a bed adjacent to the window. The amenity spaces attached to the clusters would range in size from 23.3m² for the four-bedroom clusters to 40.1m² for the 8-bedroom clusters.

Cluster type	Number	Approx area (m ²)	Minimum NDSS area (m ²)	Living kitchen area (m ²)	Average area per person (m ²)
8 bed	1	182	125 (6b8p)	40	5.0
7 bed	20	140-160	116 (6b7p)	32	4.6
6 bed	32	116-150	116	29	4.8
5 bed	6	125	103	32	6.5
4 bed	4	90	90	23	5.8

In combination with the dedicated amenity space elsewhere in the building, the space available to students would be consistent with other purpose-built student schemes recently approved in the City Centre and would surpass the NDSS space standards.

- 9.2.12 The studios would range in size from 21-27m², with an average size of 23.5m². Whereas they would be smaller than the 37m² NDSS minimum standard for a one-bedroom apartment, draft Policy H9 in the CSSR allows appropriate adjustments to address the particular characteristics of purpose-built student development. In this instance, the additional dedicated communal space provides reasonable opportunities for socialising within the building and there are many other amenities within the City Centre. The average amount of space provided within studios would exceed nearly all other purpose-built student developments in the City Centre during the past 5 years.
- 9.2.13 Student bedrooms would be located at first floor and above providing separation from activities at pedestrian level outside the building. Those bedrooms on the eastern side of the building fronting Woodhouse Lane would experience views towards Merrion House and Morrisons 29m away. Given the relative heights, the top 4 storeys would enjoy open views towards the north-east of the City. Similarly, those in the top 10 storeys of the tower facing west would enjoy long-distance views over the City Centre and beyond. At lower levels, the complex footprint of the building gives rise to more limited outlooks although 22m would be achieved across Cookridge Street to the windows in the 67-73 Cookridge Street student accommodation. The courtyards in the development would be 9m wide and windows in this area would be angled to ensure privacy is maintained. The depth of the courtyards (6-13m) combined with the height of these parts of the development is such that adequate levels of daylighting should still be achieved even for the rooms at lower levels of the building.
- 9.2.14 At pre-application stage the majority of Members considered the living conditions within the student accommodation to be acceptable and officers considered that proposals provide reasonable living conditions in accordance with CS policy H6 and supporting text to CSSR policy H9.
- 9.2.15 The proposed development would be located at a similar distance from neighbouring buildings as the existing development and would not be significantly taller. The most sensitive uses are located within the student accommodation across Cookridge

Street. However, a minimum separation of 22m is retained between the buildings. As such, it is not considered that the development would have a harmful impact upon the amenities of occupiers of those neighbouring student apartments. Consequently, the development would accord with CS policy P10 and saved UDPR policies GP5 and BD5.

9.3 Townscape and heritage considerations

- 9.3.1 The existing eleven storey tower sitting on a two storey plinth dates from the late 1950's/early 1960's. As such, the building pre-dated the construction of the Leeds Polytechnic buildings west of Portland Way and also the construction of the Merrion Centre. Consequently, when constructed the building would have been seen as a more isolated point of height in the townscape.
- 9.3.2 Since that time Merrion House, and its recent extension, has been constructed on the east side of Woodhouse Lane and a part 6, part 16 storey building is nearing completion at the junction of Cookridge Street / Woodhouse Lane and Portland Crescent (Vita 2 student accommodation). This will supplement and reinforce the scale of buildings around this key junction. Meanwhile, historic and new buildings to the south and west remain at a more civic scale. The scale and mass of the proposed building is directly informed by this context with a tower element fronting Woodhouse Lane and a much lower "boot" element stepping down to the west.
- 9.3.3 Although taller than the existing tower (which is identified as a tall building in the Tall Buildings SPD), the tower element would be only approximately one storey taller than the approved Vita 2 development. The difference in heights would be imperceptible in views where the buildings are seen in conjunction. The tower would be significantly slimmer than the existing structure, presenting more elegant proportions when viewed from the north and south. Conversely, the tower would be longer than the existing building although open views from the east are largely concealed by the Merrion Centre, and only fully revealed turning the corner onto Woodhouse Lane.
- 9.3.4 The tower of the building would also be viewed from more sensitive, heritage, settings including Queen Square conservation area to the north and Millennium Square to the south. In accordance with paragraph 193 of the NPPF, great weight should be given to the heritage asset's conservation. In views from Queen Square the mass of the building would appear as a comfortable transition between the Vita 2 building and Merrion House, thereby preserving the setting of the conservation area and listed buildings.
- 9.3.5 Both the taller and lower components of the building would be visible to a varying degree from the south-west in the setting of the Civic Hall, Leeds City Museum, Art College, the O2 Academy and Brodrick's Buildings. The full width of the tower is likely to be visible, but would be sufficiently distant, from the Vita 2 building so as not to form a continuous built backdrop to the Civic Hall and other heritage assets.
- 9.3.6 Views of the lower element of the building would open up closer to the building on Cookridge Street. The mass of these elements is directly informed by surrounding buildings and topography. The lowest, western end of the building, would be slightly taller than the eaves level to Leeds Arts University (Jacob Kramer) but lower than its ridge. Similarly, this part of the building would be lower than the ridge to the O2 Academy and a similar level to the western shoulder of the new, 67-83 Cookridge Street development. The body of this part of the building would step up towards the proposed tower to the east but only to a similar height as the tallest element of 67-

83 Cookridge Street. Furthermore, these taller elements are unlikely to be readily visible from the west due to the gradual step in levels. Consequently, the mass of the building would be closely comparable with surrounding buildings. Historic England do not wish to make any comment regarding the proposals whilst Leeds Civic Trust are supportive of the development. Therefore, the development would preserve the setting of the nearby heritage assets and would accord with paragraph 193 of the NPPF.

- 9.3.7 The built form of the development would be fragmented by a series of courtyards fronting both Vernon Street and Cookridge Street. Whilst a departure from the more expansive existing footplate the courtyards have an established precedent nearby, for example at the Carriageworks and to the rear of 19-23 Cookridge Street (Alexander Street). The courtyards fronting Vernon Street, primarily surrounded by plant, cycle and bin store uses within the building, are likely to be gated to provide additional security. Those fronting Cookridge Street would remain open. Typically, building edges would be built up to the back edge of the surrounding footway to deliver a strong built form. However, in response to the obtuse geometry of the Woodhouse Lane junction with Cookridge Street it is intended that the north-east corner of the building would be faceted to turn the corner and, in doing so, would respond to similar arrangements on the Merrion House and Vita 2 buildings fronting the same junction.
- 9.3.8 The key aim of the proposed design was to re-establish the connection at street level with the public realm, incorporating elements of the public realm into the site and increasing permeability. Although challenging to achieve given the site's topography the proposed development, involving three distinct, linear and stepped elements, provides level access from all entrances. The three buildings are subsequently linked by glazed elevations along an east-west alignment to provide a sense of transparency and reflectiveness when viewing into the courtyard spaces between the buildings.
- 9.3.9 The architectural expression of the building is led by the intent to utilise classical proportions in conjunction with a strong base, middle and top. The double height glazed plinth of the main building has a close relationship with the eaves height of the Hedley Verity building across Vernon Street to the south. To the front, splayed projecting piers are proposed to respond to the views of the building north and south along Woodhouse Lane. A strong parapet running across the top of the plinth will provide a distinct separation from the base and middle of the building which would be set back over 2m from this forwardmost line. The main body of the tower would be 15 storeys in height. The scale of this element would be broken down into two halves by a glazed spine, centrally located above the building entrance and linking the base with the top of the building. Window reveals would be splayed with feature projecting cills to provide additional visual interest. Decorative restraint panels would be positioned across approximately half the window width. The top two levels would form the crown of the tower. At these levels the chamfered reveals are removed and wider window openings provided. Double height projecting metal fins would enrich this element of the building. These themes, though at a smaller scale, are respected in the lower elements of the building to the west.
- 9.3.10 The College of Technology site has a rich musical history. Pink Floyd wrote See Emily Play there in 1967 and two tracks from The Who's 'Live at Leeds' were recorded there. It is intended to reflect this legacy in the design of the window restraint panels and also in a piece of public art set within the building façade fronting Cookridge Street.

9.3.11 New buildings in this heritage-sensitive setting, such as those on the west side of Cookridge Street, have utilised natural facing materials giving a direct resonance to the surrounding context of Portland stone and Yorkstone. A simple palette of materials is proposed for the development utilising reconstituted cast stone cladding, glazing and anodised aluminium metalwork. The applicant is continuing to explore high quality masonry products and, although the precise material has yet to be determined, samples of potential products will be available for Panel to inspect. In this respect, a planning condition would be applied which requires a full size mock-up sample panel to be provided on site and approved.

9.3.12 Subject to final details regarding materials and detailed architectural design, which will be conditioned, the proposed development would provide high quality, contemporary, architecture which would maintain the setting of adjacent heritage assets, animate and improve the appearance of the local townscape. Consequently, the development would accord with CS policies SP1, P10, P11 and saved UDPR policy BD2.

9.4 Transport and servicing issues

9.4.1 The site is located in a highly sustainable location close to the many amenities offered by the City Centre and is readily accessible by a range of modes of transport. Measures to promote pedestrian movement around the site are described in the public realm section at paragraph 9.5.

9.4.2 The development involves the removal of all existing car parking spaces associated with the former use of the site by the College of Technology. A Travel Plan has been provided which will ensure that all staff and students can choose to travel by non-car modes. The plan also sets out mechanisms for implementing the Travel Plan both if it is nominated by University of Leeds or if it is not. A Travel Plan coordinator will be appointed who will provide sustainable travel information to both students and accommodation staff, carry out surveys and monitoring, and liaise with the Council's Travelwise team. Green Travel Plan measures include the provision of cycle storage and maintenance facilities alongside accessible shower and changing facilities for staff of the student accommodation. The Travel Plan will form part of the section 106 agreement and a monitoring fee of £3,252 is payable.

9.4.3 It is intended that Vernon Street will become a solely pedestrian route. A loading bay will be formed on Cookridge Street outside the new building to remove the need for vehicles servicing the development to use Vernon Street. This will require the removal of existing pay and display spaces on Cookridge Street. A contribution of £x,xxx will be required to compensate the Council for the lost revenue together with £7,500 for new traffic regulation orders. Further details of the management of servicing and deliveries to and from the site will be the subject of a planning condition.

9.4.4 All of the 32 parking spaces previously used by the College of Technology along Vernon Street will be removed. This enables the construction of a new 2m wide footpath along the northern side of Vernon Street next to the proposed building providing an uninterrupted pedestrian link between Leeds City Museum and Cookridge Street.

9.4.5 The submitted Transport Assessment incorporates the strategy for the start/end of term and pick up/drop off arrangements for students. It is proposed to provide students with a time slot and include information identifying loading/parking options in the vicinity. It is considered that the submitted information needs to be

supplemented to provide further clarity regarding the time slots and off-site parking arrangements. A Student Management Plan is therefore sought as a planning condition.

9.4.6 Subject to the suggested conditions and section 106 requirements the development would not have an adverse impact upon the local highway network and consequently would accord with CS policy T2 and saved UDPR policy GP5.

9.5 Public realm

9.5.1 The ground level of the existing building is elevated above street level, resulting in external staircases on Woodhouse Lane, Cookridge Street and Vernon Street. The surrounding environment, including footways running beneath the staircases, lightwells around the building and external bin storage deters pedestrian use. Likewise, the presence of car parking and the absence of a continuous footpath on Vernon Street make it difficult for pedestrians to use.

9.5.2 The proposed building will have a smaller footprint than that existing. Space between the new building and the surrounding highways will be infilled to provide a wider, level, footway on both Cookridge Street and Woodhouse Lane. The footways will be resurfaced. The wider footways would benefit both pedestrian movement and also provide opportunities for the introduction of approximately 12 semi-mature street trees on these frontages. The details of the landscape scheme will be controlled by condition, in part to ensure coordination with landscaping on other sides of the junction. However, at this stage, it is envisaged that the trees will be *Prunus avium Plena* (double flowering wild cherry) and *Corylus colurna* (Turkish hazel).

9.5.3 The Council is currently preparing proposals for the upgrading of the remainder of Vernon Street as a wholly pedestrianised street whilst discussing the removal of remaining parking spaces with other stakeholders. The applicant has confirmed a contribution of £150,000 towards delivery of this scheme.

9.5.4 The development would significantly improve the quality of the public realm surrounding the site and enhance pedestrian movement. Consequently, the development would accord with CS policies SP3, SP11, CC3, P10 and T2.

9.6 Sustainability and climate change

9.6.1 A Climate Change Emergency was declared by the Council on 27th March 2019. Policies EN1, EN2 and EN4 of the Core Strategy seek to reduce carbon consumption, energy and water usage in new developments. Further guidance is contained within the NPPF and Building for Tomorrow Today: Sustainable Design and Construction SPD.

9.6.2 The potential for retaining the existing tower and converting it to student accommodation was reviewed by the developer's team, in part, with a view to benefit from the embedded carbon used in its original construction. However, the design of the core, the internal circulation and the much deeper existing footprint make it unsuitable for conversion to residential accommodation. Further, the existing building layout allows little interaction with the street at pedestrian level and presents flights of steps to the main entrances making level access for future occupants of the building difficult. Consequently, as re-use of the existing structure as residential accommodation is not technically possible or desirable in terms of the opportunities

for street activation and level access afforded by redevelopment, the recycling of demolition waste will be explored in detail with the main contractor.

9.6.3 The redevelopment of the existing building, as proposed, would involve the effective and efficient use of land in a highly sustainable city centre location, thereby reducing the need to travel by car and, in so doing, help to reduce greenhouse gas emissions. Consequently, the development would accord with Chapter 11 and 14 of the NPPF.

9.6.4 In order to accord with Core Strategy policies EN1 and EN2 it is intended to utilise the following measures within the development:

- Fabric first approach with fabric improvements above that required to meet Building Regulations.
- Natural ventilation, wherever possible to serve the cluster flats with individual Mechanical Extract Ventilation (MEV) system serving each individual cluster. Where natural ventilation is not possible, a Mechanical Ventilation and Heat Recovery System (MVHR) will be provided to serve each cluster flats, with a target minimum efficiency of 90%.
- Demand led, energy efficient electric heating enabling individual occupancy control.
- Low energy lamps, absence detection and PIR sensors.
- Efficient energy supply for hot water demand by on-site gas fired CHP system.
- Photovoltaic arrays on the proposed flat roof areas to provide an on-site renewable energy source.
- Air tightness of the building 50% above Building Regulation requirements to reduce heat losses in winter and heat gains in summer and to increase the efficiency of any mechanical ventilation.
- Air source heat pumps will be addressed as a cooling option for the proposed common room space.
- Specification of appliances and fittings to reduce water consumption from 125 litres per person per day (in line with Part G of the Building Regulations) to meet the requirements of the 110 litres per person per day in line with LCC Policy EN2.
- The tenants of the commercial space will be required to target BREEAM excellent rating for the fit-out works.

9.6.5 It is also intended to plant street trees in the pavement around the periphery of the site which will assist with carbon capture, interception of rainfall thereby reducing flood risk, and would contribute to air quality improvement through particulate removal and air pollution dispersal. The Applicant has also reviewed the potential for providing a green wall. However, the applicant considers that the associated long term management and maintenance implications being passed on to a future student operator would be prohibitive. The proposed street trees would have a far more sustainable and long-lived and have a much greater beneficial impact on the surrounding microclimate.

9.6.6 With regard to Core Strategy policy EN4 the developer is in active dialogue with the Council's District Heating team and a detailed appraisal will be undertaken to explore whether the district heating system could replace the proposed gas-fired CHP system. In any event, the scheme is designed to provide for future flexibility to link into either method.

9.6.7 The development will also reduce the present rate of surface water discharges from the site thereby providing sustainable drainage and helping flood prevention.

9.6.8 Consequently, the proposed development accords with relevant local and national sustainability policy and positively responds to the climate change emergency.

9.7 Accessibility

9.7.1 Unlike the existing building the proposed building has been designed to ensure it would be accessible to all. By stepping the levels, level access would be provided to the lower ground floor commercial premises from Cookridge Street and Vernon Street. This level would also provide direct level access to the student entrance located towards the centre of the development. Level access to the commercial units situated at the base of the tower would be provided directly from Woodhouse Lane.

9.7.2 Internally, there would be level access to all floors via lifts located in both the tower and the lower elements of the development to the west. One of the study rooms would be fully fitted out, with elements such as adjustable worktops, sinks and hobs and spaces of a suitable width to provide turning space for independent wheelchair users and a further 25 study bedrooms could be readily converted if there is demand.

9.7.3 The approach to inclusive design is welcomed by the Council's Access advisor. Consequently as a result of the aforementioned provisions, it is considered the proposed development accords with relevant local and national requirements and is accessible.

9.8 Wind

9.8.1 Although there is an existing tall building on the site the application was accompanied by a desk-based microclimate assessment reviewing the likely impact of wind on the surrounding environment. This report was subsequently supplemented following a wind tunnel assessment of the proposed scheme.

9.8.2 The wind tunnel assessment identified that the existing development generates wind conditions which are suitable for any pedestrian activity around the site during the summer whilst wind conditions during the winter make the conditions in one area more suitable for business walking.

9.8.3 The assessment found that the proposed development would not materially affect the existing wind conditions around the site during the summer such that they would remain suitable for any pedestrian activity. In the winter the wind conditions would be mostly suitable for any pedestrian activity, for pedestrian strolling and for other more strenuous activities. The study also showed that there would be no locations on surrounding roads where the wind conditions would exceed road vehicle safety criteria.

9.8.4 The assessment also considered the wind environment at the building entrances, ground level courtyards and roof terraces. It found that wind conditions would be acceptable for their intended usage throughout the year.

9.8.5 Following recent convention, the assessments were reviewed by RWDI on behalf of the Council. RWDI agreed with the findings of the wind tunnel assessment. Consequently, it is considered that the development would not have an unacceptable impact upon the local wind environment and would accord with saved UDPR policy GP5.

9.9 Section 106 and Community Infrastructure Levy (CIL)

9.9.1 A legal test for the imposition of planning obligations was introduced by the Community Infrastructure Levy Regulations 2010 (as amended). These provide that a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is:

- (a) necessary to make the development acceptable in planning terms,
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

The proposed scheme produces the need for the following obligations which it is considered meet the legal tests:

- Occupation of the residential accommodation only by full-time students in higher education, as use for standard C3 accommodation would give rise to other requirements such as affordable housing;
- Implementation of the Travel Plan and a Travel Plan monitoring fee of £3,252 so as to accord with the Travel Plan SPD;
- Removal of existing College of Technology parking provision from Vernon Street as it is redundant and not required for the development;
- Contribution of £150,000 towards Vernon Street environmental improvements to improve pedestrian access to accord with Core Strategy policies, SP11, T2 and CC3;
- Contributions of £18,095 per space lost towards the loss of pay and display income and £7,500 to new traffic regulation orders as required, including to provide a loading bay on Cookridge Street to accord with Core Strategy policy T2;
- Local employment and training initiatives so as to accord with Core Strategy Spatial Policy 8; and
- Section 106 management fee (£2,250).

9.9.2 This proposal is likely to generate a CIL requirement of £43,949.40. This figure is presented for information only and should not influence consideration of the application. The infrastructure requirements for this development are likely to relate to public transport and public space provision. Consideration of where any Strategic Fund CIL money is spent rests with the Council's Executive Board and will be decided with reference to the 123 list (or Infrastructure Funding Statement as the case may be at the time that decision is made).

9.10 Conclusion

9.10.1 The demolition of the existing College of Technology building, and development of new student accommodation with ancillary facilities and commercial units is acceptable in principle. By virtue of the combination of the facilities within the student bedrooms and the additional facilities provided within and around the building the living conditions provided for the occupiers would be acceptable. The development would have an acceptable impact upon its neighbours and also provide opportunities for local employment during its construction and subsequent use.

9.10.2 Subject to final details regarding materials and detailed architectural design the proposed development would provide high quality, contemporary, architecture which would maintain the setting of adjacent heritage assets, while animating and improving the appearance of the local townscape.

- 9.10.3 The development of this sustainably-located site would have an acceptable impact upon highway and pedestrian safety, and provide sustainable transport choices. The public realm around the site would be improved and the development would also provide a contribution to enhance the environment on Vernon Street.
- 9.10.4 The proposed development would provide a raft of measures to ensure compliance with relevant local and national sustainability policy and, in so doing, would positively respond to the Climate Change Emergency.
- 9.10.5 As a result, the development would accord with Core Strategy policies SP1, SP3, SP11, CC1, CC3, H6B, T2, P10 and P11, and saved Unitary Development Plan Review policies GP5, BD2 and BD5, and the NPPF. Accordingly, it is recommended that the scheme should be approved subject to the conditions specified in Appendix 2 and the completion of a Section 106 agreement.

Appendix 1 - Minutes of the meeting of City Plans Panel 14th February 2019

The Chief Planning Officer submitted a report which set out details of a pre-application proposal for a student residential accommodation development with ground floor commercial space to site of Leeds College of Technology, Woodhouse Lane, Cookridge Street and Vernon Street, Leeds, LS2 8BL.

Members visited the site prior to the meeting. Site photographs and plans were displayed and referred to throughout the discussion of the application.

The applicant's representatives addressed the Panel, speaking in detail about the proposal and highlighted the following:

- Site / location/ context
- City Centre location
- Demolition of existing building and the construction of a 20 storey tower with part 8 and part 6 storey linked elements located to the west.
- Building to contain 458 bed-spaces (379 bedrooms in 4,5,6,7 and 8 bedroom cluster flats and 79 studios)

Clusters would be 13m² with cluster amenity spaces ranging from 23.3m² for the four-bedroom clusters to 40.1m². The studios would range in size from 21.6-31.4m², with an average size of 25m². 880m² of dedicated amenity space (in addition to the cluster kitchen amenity spaces) would be provided for the students at lower levels of the building.

- Areas for cycle storage, bin storage and plant would be located on the lower levels.
- The 3 inter-linked buildings would create courtyard and public realm areas
- The provision of wider footpaths enhance pedestrian / public realm areas (Public Art with the public realm areas)
- Proposed no parking on Vernon Street
- Materials – Natural stone or reconstituted stone
- Two commercial units along the Woodhouse Lane frontage

Members raised the following questions:

- The size of the apartments appeared to be too small, what were the actual sizes of the living accommodation
- Provision that would be made for communal areas and inclusion of cluster flats vs. studios to combat potential isolation of occupants
- Were there any proposals for the building to be carbon neutral/ achieve BREEAM Excellent standards
- There was a lack of street level greenery, could green walls be considered
- Where would the pick-up and drop off areas be located
- How did the developer intend to work with the Council to ensure the pedestrianisation of Vernon Street and creation of this into an area of public realm provision

In responding to the issues raised, the applicant's representative and council officer's said:

- Members were informed that the living accommodation for a typical cluster flat was 13m² but in addition there was a further 880m² of dedicated amenity space for students at the lower levels of the building. Members were informed that there was a push by developers to create more social space to avoid student isolation.

- Members were informed that carbon reduction would be achieved by the use of a central CHP heat recovery system reducing CO₂ emissions by up to 30%
- Members were advised that the introduction of green walls within the courtyard areas would be considered
- Highway officers reported that an area designated for drop-off/ pick up and loading would be located within the roadway on Cookridge Street

In offering comments Members raised the following issues:

- Members were generally supportive of the application
- Further details about the size of the living accommodation was required
- Could further consideration be given to the provision of more street level greenery and the use of green walls
- Could further consideration be given to the refuse storage areas, would these areas be large enough to cater for future recycling systems
- Members were of the view that removal of car parking on Vernon Street to create enhanced public realm was important, with the applicant and Council needing to work closely together to ensure this
- Could the stone sets on Vernon street be retained

(With reference to Vernon Street, the Chief Planning Officer informed Members of the “Our Spaces Strategy”. Operated by the Regeneration Unit, the scheme receives contributions from developers to fund off-site enhancement works. It may be possible to include Vernon Street as part of that strategy).

In drawing the discussion to a conclusion Members provided the following feedback;

- Members considered the proposed development of the site for student accommodation was acceptable in principle
- The majority of Members considered the living conditions within the student accommodation to be acceptable. One Member was of the view that the size of the living accommodation was too small
- Members considered that the proposed mass and form of the development and its relationship with the surrounding context to be acceptable
- Members expressed the view that natural stone or reconstituted stone should be used as the primary external building material (having all agreed an amendment to the question put to Members regarding whether natural OR reconstituted stone could be used). A sample panel of the material to be made available for viewing on site.
- Members were supportive of the emerging approach to the public realm, including the aspiration to remove vehicles from Vernon Street

The Chair thanked the developers for their attendance and presentation suggesting that Members appeared to be generally supportive of the scheme

RESOLVED –

- (i) To note the details contained in the pre-application presentation
- (ii) That the developers be thanked for their attendance and presentation

Appendix 2 – draft conditions

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans Schedule.

For the avoidance of doubt and in the interests of proper planning.

- 3) The approved Phase I Desk Study report indicates that a Phase II Site Investigation is necessary, and therefore development shall not commence until a Phase II Site Investigation Report has been submitted to, and approved in writing by, the Local Planning Authority.

Where remediation measures are shown to be necessary in the Phase II Report and/or where soil or soil forming material is being imported to site, development shall not commence until a Remediation Statement demonstrating how the site will be made suitable for the intended use has been submitted to, and approved in writing by, the Local Planning Authority. The Remediation Statement shall include a programme for all works and for the provision of Verification Reports.

To ensure that the presence of contamination is identified, risks assessed and proposed remediation works are agreed in order to make the site 'suitable for use'.

- 4) If remediation is unable to proceed in accordance with the approved Remediation Statement, or where significant unexpected contamination is encountered, the Local Planning Authority shall be notified in writing immediately and operations on the affected part of the site shall cease. An amended or new Remediation Statement shall be submitted to, and approved in writing by, the Local Planning Authority prior to any further remediation works which shall thereafter be carried out in accordance with the revised approved Statement.

To ensure that any necessary remediation works are identified to make the site suitable for use.

- 5) Remediation works shall be carried out in accordance with the approved Remediation Statement. On completion of those works, the Verification Report(s) shall be submitted to the Local Planning Authority in accordance with the approved programme. The site or phase of a site shall not be brought into use until such time as all verification information has been approved in writing by the Local Planning Authority.

To ensure that the remediation works are fully implemented as agreed and the site has been demonstrated to be suitable for use.

- 6) The development shall not be commenced until a Statement of Construction Practice has been submitted to and approved in writing by the Local Planning Authority. The Statement of Construction Practice shall include full details of:

- a) the methods to be employed to prevent mud, grit and dirt being carried onto the public highway;
- b) the measures to control the emissions of dust and dirt during demolition and construction;
- c) the means of access to and from the construction site for vehicles;
- d) a traffic management plan to minimise any delay for road users on the local road network;
- e) the location of the site access, site compound and construction workers parking, loading and unloading of all contractors' plant, equipment and materials;
- f) control of construction workers parking in the surrounding area;
- g) details of any cranes; and
- h) how this Statement of Construction Practice will be made publicly available by the developer.

The approved details shall be implemented at the commencement of demolition work on site, and shall thereafter be retained and employed until completion of works on site. The Statement of Construction Practice shall be made publicly available for the lifetime of the construction phase of the development in accordance with the approved method of publicity.

In the interests of highway safety and amenity.

- 7) No operation of demolition or construction works shall take place before 08:00 hours on weekdays and 09:00 hours on Saturday's or after 18:00 hours on weekdays and 13:00 hours on Saturdays. No such operations shall take place on Sundays and Bank Holidays.

In the interests of residential amenity of occupiers of nearby property.

- 8) The development, including demolition, shall not commence until a survey of the condition of the existing vehicular highways for 100m around the application site has been submitted to and approved in writing by the Local Planning Authority. Following completion of the development a survey of those highways shall be submitted identifying their condition, with any necessary mitigation works. The approved mitigation works shall be fully implemented prior to occupation of the development.

To ensure the free and safe use of the highway.

- 9) No drainage works shall commence until a drainage scheme (i.e. drainage drawings, summary calculations and investigations) detailing the surface water drainage works has been submitted to and approved in writing by the Local Planning Authority. The maximum rate of discharge, off-site, shall not exceed 14L/s, unless otherwise agreed with the Local Planning Authority. The works shall be implemented in accordance with the approved scheme before the development is brought into use.

To ensure sustainable drainage and flood prevention.

- 10) The development shall not be brought into use until a SUDS management and maintenance plan for the lifetime of the development, including arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme, has been submitted to and approved in writing by the Local Planning Authority.

To ensure the continued operation and maintenance of drainage features serving the site and reduce the risk of flooding.

- 11) Details of noise mitigation proposals which shall include an alternative means of acoustically treated ventilation for all noise insulated rooms, to accord with the submitted Hoare Lea report, shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of the superstructure of the building. The development shall be constructed and thereafter maintained in accordance with the details thereby agreed.

In the interests of the amenities of the occupiers of the development.

- 12) Prior to occupation, details of acoustic tests within habitable rooms shall be submitted and approved. The test shall demonstrate that environmental noise in habitable rooms does not exceed 35dB LAeq, 1Hr between the hours of 07:00 and 23:00; and 30 dB LAeq, 1hr between the hours of 23:00 and 07:00 with mechanical ventilation units in operation. In the event that sound levels exceed the specified limits, the applicant shall undertake corrective action and re-test.

In the interests of residential amenity.

- 13) The plant and building services required for the development shall limit noise to a level at least 5dBA below the existing background noise level (L90) when measured at the nearest noise sensitive premises with the measurements and assessment made in accordance with BS4142:2014. The approved scheme shall be retained thereafter.

In the interests of residential amenity.

- 14) Any commercial A3 or A4 unit within the development shall not operate until a scheme to control noise emitted from the premises has been approved in writing by the Local Planning Authority and installed as approved. The scheme shall provide that the LAeq of entertainment noise does not exceed the representative background noise level LA90 (without entertainment noise), and the LAeq of entertainment noise will be at least 3dB below the background noise level LA90 (without entertainment noise) in octaves between 63 and 125Hz when measured at the nearest noise sensitive premises. The approved scheme shall thereafter be retained for the lifetime of the A3 or A4 development.

In the interests of amenity.

- 15) Details of a mechanical ventilation system, to protect future residents against potentially poor air quality, shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of the superstructure of the building. The development shall be constructed and thereafter maintained in accordance with the details thereby agreed.

In the interests of the amenities of the occupiers of the student accommodation.

- 16) Details of measures to treat any odours or fumes from processes carried on within any commercial A3 or A4 unit shall be submitted to and approved in writing by the Local Planning Authority. The measures thereby agreed shall be implemented prior to first use of the commercial unit and shall thereafter be retained and maintained for the lifetime of the A3 or A4 development.

In the interests of amenity.

- 17) Notwithstanding the approved details, full details of cycle parking and facilities shall be submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the approved cycle/motorcycle parking and facilities have been provided. The facilities shall thereafter be retained for the lifetime of the development.

In the interests of highway safety.

- 18) The development shall not be occupied until a Servicing and Delivery Management Plan (including timescales and detailed loading bay proposals) has been submitted to and approved in writing by the Local Planning Authority. The plan shall be fully implemented and operated in accordance with the approved timescales.

To ensure the free and safe use of the highway.

- 19) The development shall not be occupied until a Student Management Plan for the beginning and end of terms has been submitted to and approved in writing by the Local Planning Authority. The plan shall be fully implemented and operated in accordance with the approved details for the lifetime of the development.

To ensure the free and safe use of the highway

- 20) The development shall not be occupied until the loading bay on Cookridge Street identified on drawing xxxxx has been provided. The approved loading bay shall thereafter be retained and maintained for the lifetime of the development.

In the interests of accessibility.

To ensure the free and safe use of the highway.

- 21) The relevant elements of the development shall not be occupied until the bin store relating to that use shown on drawings 2014-176-021 Rev C and 2014-176-0221 Rev B has been provided. For the avoidance of doubt refuse bins shall not be stored outside the building at any time except for collection.

In the interests of amenity and to ensure adequate measures for the storage and collection of wastes are put in place

- 22) Development of the building superstructure shall not commence until typical detailed 1:20 scale (or other appropriate scale) working drawings of the following features have been submitted to and approved in writing by the Local Planning Authority:

- (a) windows including heads and cills, glazing, fins and curtain walling;
- (b) entrances and external doors;
- (c) soffits;
- (d) parapet detail and rooftop equipment.

The works shall be constructed in accordance with the approved details.

In the interests of visual amenity.

- 23) Details and samples of all external facing building materials shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. The

samples shall include the erection of a full-size mock-up panel on site or in agreed location nearby. The external surfaces of the building shall be constructed in accordance with the details thereby agreed.

In the interests of visual amenity.

- 24) Prior to the commencement of the above ground superstructure of the development, details shall be submitted to and approved in writing by the Local Planning Authority of integral bird nesting features (for species such as House Sparrow) to be provided within the building. The approved details shall show the number, specification of the bird nesting features and where they will be located, together with a commitment to being installed under the supervision of an appropriately qualified consultant. All approved features shall be installed prior to first occupation of the building and retained for the lifetime of the development.

To maintain and enhance biodiversity.

- 25) The following hard and soft landscape works shall not take place until full details have been submitted to and approved in writing by the Local Planning Authority. These details shall include (a) proposed finished levels and/or contours; (b) walls and retaining walls including to proposed planters; (c) other pedestrian access and circulation areas; (d) hard surfacing areas; (e) gates and railings fronting Vernon Street; (f) minor artefacts and structures (e.g., street furniture including seating and bicycle anchor points, balustrades, bollards, directional signs, external lighting, CCTV and bins including recycling bins); (g) proposed and existing functional services above and below ground (e.g. drainage, power cables, communication cables, pipelines etc., indicating lines, manholes etc.). Soft landscape works shall include (h) planting plans; (i) written specifications (including cultivation and other operations associated with plant and grass establishment); (j) tree pit and planter details; (k) schedules of plants noting species, planting sizes and proposed numbers/densities; and (l) implementation programme.

To ensure the provision of amenity afforded by appropriate landscape design.

- 26) Prior to the commencement of the superstructure of the development details of counter terrorism measures to protect the building and the public realm shall be submitted to and approved in writing by the Local Planning Authority. The measures thereby approved shall be implemented prior to first use of the development and thereafter retained and maintained.

In the interests of public safety.

- 27) Hard and soft landscaping works shall be carried out in accordance with the approved details. The hard landscape works shall be completed prior to the occupation of any part of the development. The soft landscape works shall be completed in accordance with the agreed implementation programme. The landscape works shall be implemented to a reasonable standard in accordance with the relevant provisions of appropriate British Standards or other recognised codes of good practice.

To ensure the provision, establishment and maintenance to a reasonable standard of landscaping in accordance with the approved proposals.

- 28) The development shall not be occupied until a plan, schedule and specification for landscape management during the establishment period has been submitted to, and

approved in writing by, the Local Planning Authority. This shall include reference to planting and hard landscaped areas, including paving, seating and other features. The schedule shall identify the frequency of operations for each type of landscape asset and reflect the enhanced maintenance requirement of planted areas.

To ensure successful establishment and aftercare of the completed landscape scheme.

- 29) If, within a period of five years from the planting of any trees or plants, those trees or plants or any trees or plants planted in replacement for them is removed, uprooted, destroyed or dies or becomes, in the opinion of the Local Planning Authority, seriously damaged or defective another tree or plant of the same species and size as that originally planted shall be planted at the same place in the first available planting season, unless the Local Planning Authority gives its written consent to a variation. If such replacements die within twelve months from planting these too shall be replaced, until such time as the Local Planning Authority agrees in writing that the survival rates are satisfactory.

To ensure the maintenance of a healthy landscape scheme.

- 30) No external lighting shall be installed unless a scheme has previously been approved in writing by the Local Planning Authority. The scheme shall be installed and retained thereafter in accordance with the approved details.

In the interests of amenity and highway safety.

- 31) Any soil or soil forming materials brought to site for use in soft landscaping shall be tested for contamination and suitability for use. A methodology for testing these soils shall be submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto site. The methodology shall include information on the source of the materials, sampling frequency, testing schedules and criteria against which the analytical results will be assessed (as determined by risk assessment). Testing shall then be carried out in accordance with the approved methodology. Relevant evidence and verification information (for example, laboratory certificates) shall be submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto the site.

To ensure that contaminated soils are not imported to the site and that the development shall be suitable for use.

- 32) The student accommodation shall not be occupied until the dedicated communal student space identified on the drawings xxxx has been provided for the use of students residing in the building. The space shall thereafter be retained and maintained solely for use by students residing in the building for the lifetime of the development.

To ensure that students are provided with satisfactory amenity space within the building.

- 33) The student accommodation development shall be implemented in accordance with the details set out within the xxxx sustainability statement.

(i) Within 6 months of the first occupation of the residential accommodation a post-construction review statement shall be submitted and approved in writing by the

Local Planning Authority demonstrating compliance with Core Strategy policies EN1, EN2 and EN4.

The development shall thereafter be maintained and any repairs shall be carried out all in accordance with the approved detailed scheme and post-completion review statement or statements.

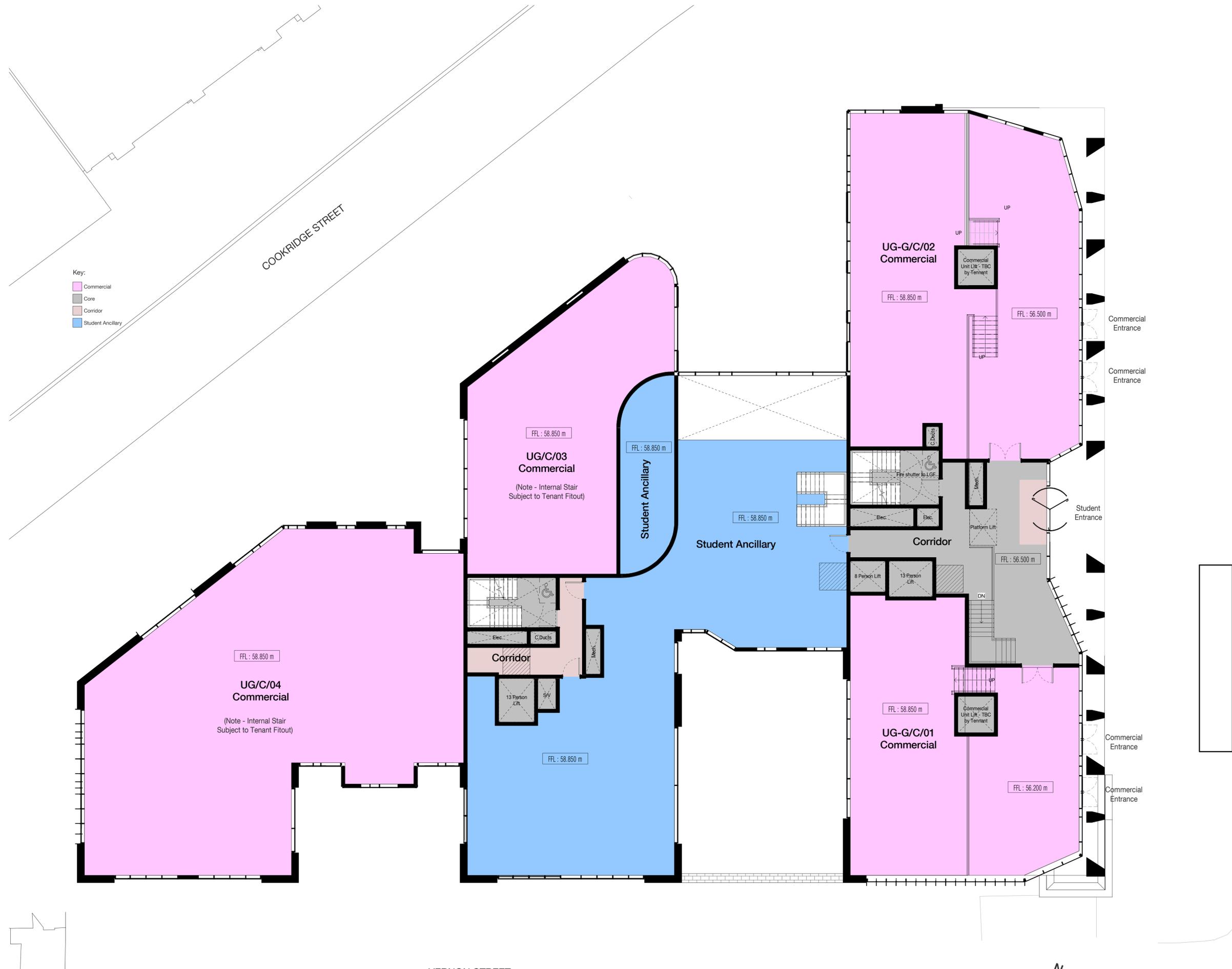
To ensure the inclusion of appropriate sustainable design measures.

- 34) The development shall contain no more than 200sqm of A1 floorspace for the lifetime of the development.

In the interests of maintaining the vitality and viability of the prime shopping quarter.

REVISIONS		
No.	DESCRIPTION	DATE
A	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT & DRAWING STATUS UPDATED TO PLANNING	30/04/19 LS LB
B	LAYOUTS UPDATD FOLLOWING COMMENTS FROM PLANNING.	30/07/19 LB SS
C	LAYOUTS UPDATD FOLLOWING COMMENTS FROM PLANNING.	23/08/19 LB SS

Key:
 Commercial
 Core
 Corridor
 Student Ancillary



WOODHOUSE LANE

VERNON STREET

ARCHITECTURE

No. 55 | St Paul's Street | Leeds | LS1 2TE
 0113 887 3100 www.dla-design.co.uk

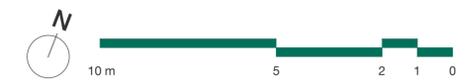
PROJECT
 Technology Campus
 Cookridge Street, Leeds

TITLE
 Proposed Upper Ground
 Floor Plan

SCALE 1 : 100 @ A1	DATE 14/01/19
DRAWN LB	REVIEWED SS

DLA REF 2014-176	NUMBER 0202	REVISION C
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STATUS
 PLANNING



A	04/09/19	SS	SS
RAISED PLANTERS AND PAVING OUTSIDE OF RED LINE BOUNDARY OMITTED IN LINE WITH LCC COMMENTS. TITLE AMENDED TO ILLUSTRATIVE LAYOUT.			
B	06/09/19	SS	SS
HIGH QUALITY PAVING EXTENDED TO VERNON STREET AND CYCLE STANDS DISTRIBUTED BETWEEN COURTYARD IN LINE WITH LCC COMMENTS.			
C	10/09/19	SS	SS
PAVING TO BLDG APRON AMENDED TO SANDSTONE IN LINE WITH LCC COMMENTS. RADIUS SHOWN ON PAVING TO VERNON STREET/WOODHOUSE LANE IN LINE WITH LCC COMMENTS.			

- KEY**
-  **PAVING TYPE 1**
Product: Marshalls Perfecta
Size: To Local authority standard
Colour: To Local authority standard
Specification: Laid on semi rigid bed to local authority standards
 -  **PAVING TYPE 2**
Product: Granite paving
Size: 150 x 300/450/600 x 80mm
Colour: Beige, Pattern: random coursed
Specification: Laid to full rigid bed with proprietary bedding and jointing mortar.
 -  **PAVING TYPE 3**
Product: Sandstone paving
Size: 150 x 300/450/600 x 80mm
Colour: Grey multi, Pattern: random coursed mix
Specification: Laid to full rigid bed with proprietary bedding and jointing mortar.
 -  **PAVING TYPE 4**
Product: Granite paving
Size: 150 x 300/450/600 x 80mm
Colour: Dark Grey
Specification: Laid to full rigid bed with proprietary bedding and jointing mortar.
 -  **PAVING TYPE 5**
Product: Existing retained stone cobbles
Specification: Cobbles to be reused / re-laid as required to repair uneven, broken surface.
 -  **STEPS**
Product: Granite c/w contrasting 50mm nosing inset
Size: 400 x 170 x 1000mm
Colour: Beige / Dark grey nosing
Specification: Laid on mortar bed. Foundation to Engineers design
 -  **STEPS**
Product: Granite c/w contrasting 50mm nosing inset
Size: 400 x 170 x 1000mm
Colour: Silver Grey / Dark grey nosing
Specification: Laid on mortar bed. Foundation to Engineers design
 -  **TACTILE PAVING**
Product: Granite c/w contrasting 50mm nosing inset
Size: 400 x 400 x 50mm
Colour: Dark grey
Specification: Laid to full rigid bed with proprietary bedding and jointing mortar.
 -  **WALLING**
Product: Bespoke Granite (solid/cladding tbc)
Size: Width - 200/400mm, height - varies
Colour: Dark Grey
Specification: Subject to detailed design
 -  **EDGING**
Product: Granite
Size: 200x1000x250mm. Specials: radius cut to size
Colour: Silver grey
Specification: Laid on concrete foundation,
 -  **TREE GRILLE**
Product: Inset paving type. tbc
Size: 1200x1200
Colour: n/a
Specification: tbc
 -  **BOLLARDS**
Product: Marshalls Geo
Size: 1100mm ht, 140mm dia
Colour: Satin finish
Specification: root fixing
 -  **CYCLE STANDS**
Product: Marshalls Geo
Size: 850mm ht above ground, 900mm length
Colour: Satin finish
Specification: root fixing
 -  **SPECIMEN TREE**
Species: Prunus avium Plena, Corylus coluna
Size: Semi Mature, Girth: 25-30cm
Specification: Containerised, clear stem: 2.5m
 -  **ORNAMENTAL SHRUB PLANTING**
Species: Evergreen ground cover. tbc
Size: 5L pots
Specification: all planting to receive 75mm of PAS100 20-40mm grade compost as mulch.



LANDSCAPE & URBAN DESIGN

No.55 | St Pauls Street | Leeds | LS1 2TE
0113 887 3100 www.dla-landscape.co.uk

PROJECT
TECHNOLOGY CAMPUS

TITLE
LANDSCAPE PROPOSALS
- ILLUSTRATIVE LAYOUT

SCALE 1:200 @ A1 **DATE** 16/04/19

DRAWN CH **REVIEWED** -

DRAWING NO 2014-176/901 **REVISION** C

FILE PATH T:\2014\2014-176\CAD\05-Autocad\Dwgs\901
STATUS